

# Thomas Fire Rebuild: Lessons Learned and Challenges Encountered

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Chief Building Official/City of Ventura



**2019**  
**TECHNICAL**  
**SUMMIT**





THOMAS FIRE  
Cause: Under investigation  
Date: December 4, 2017  
Location: Ventura, Santa Barbara counties  
Acres: 281,893  
Structures: 1,063 destroyed  
Fatalities: 2  
100% contained on January 12, 2018



City of Ventura residents were caught off guard when the hillsides exploded in flames.

The wind-driven Thomas fire tore through neighborhoods in the middle of the night, destroying homes, apartment complexes and a psychiatric hospital.



KELLY JORDAN, DAVID DAVIS / STATESMAN JOURNAL  
TIMELAPSE



On December 4, 2017, the Thomas Fire was first reported to the north of Santa Paula, near Steckel Park and Thomas Aquinas College, after which the fire is named. Officials attribute the rapid expansion of the blaze to the strong Santa Ana winds that were gusting up to 60 miles per hour that day.





Many people fled with little or no warning when evacuation orders were issued, as the fire had traveled 12 miles (19 km) in just a few hours. Over 104,607 residents were evacuated

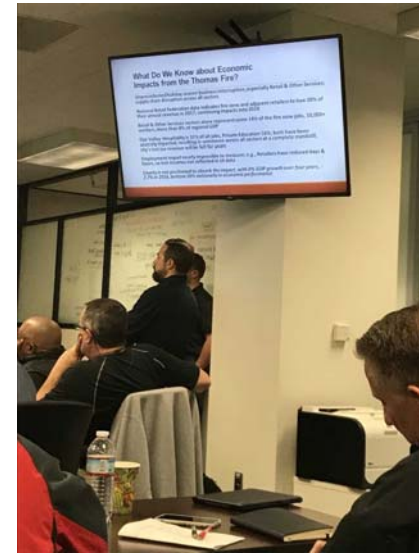
# BUILDING AND SAFETY ASSESSMENTS



- Windshield Survey Dec. 5th thru Dec. 9th  
Approximately 20,000 Sites Surveyed
- Detailed Assessment Dec. 12th thru Dec. 22nd  
Approximately 1,800 Sites Surveyed

## STATE AGENCIES

- Cal FIRE
- Cal OES (Office of Emergency Services)
- CalRecycle





Structures destroyed in the CITY OF VENTURA  
- 524 Completely Lost  
- 128 Partially Lost



Phase 1  
Site Cleanup  
Hazardous Waste Removal



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# Phase 1: Site Cleanup/Household Hazardous Waste Removal



During Phase 1, the US EPA and the California Department of Toxic Substances Control (DTSC), along with the Ventura County Environmental Health Division, inspected over 1000 properties and removed toxic household hazardous waste such as: lead acid and household batteries; compressed gas cylinders; fertilizers; pool chemicals; paints, thinners and aerosol cans; asbestos siding; pipe insulation and tiles; and cathode ray tubes (CRTs) from televisions, computers and other electronic devices. The contaminated debris was cleaned up and contained as quickly as possible to minimize exposure to emergency personnel, the public, and workers involved in rebuild efforts

The Phase 1 clearance did not include removal of fire debris and ash, which may contain hazardous substances like heavy metals and asbestos fibers. The remaining ash and debris was removed during Phase 2.





## Phase 2: Debris Removal and **Property** Clean-up

Option 1: CalRecycle Fire **Damaged Debris** Clearance

Option 2: Local Fire Debris **Removal Program**



## Phase 2: Debris Removal and Property Clean-up



- Option 1: State Program
- During Phase 2, the State (CalRecycle) removed the remaining debris (including building foundations) from properties with destroyed structures. A Right-of-Entry (ROE) application and insurance information had to be completed before the work was begun. Work included removal of all structural debris, foundations, trees that present a safety hazard to CalRecycle's work crews, and some soil to ensure that the site is clean and safe for rebuilding. All of the work was undertaken by CalRecycle contractors and there is no cost to the property owner. However, any insurance proceeds for debris removal are dedicated to off-set costs.
- For Partially Burned or Damaged Structures: Local program was created

# CHALLENGES ENCOUNTERED DURING THE INITIAL REBUILD PROCESS



- Reuse of Foundations
- Reuse of Deep Foundation Systems (Caissons, etc.)
- Slope Stability
- Cut and Fill Issues
- Possible Re-Grading
- Retaining Walls

# ASSISTING THE COMMUNITY TO REBUILD



- Wildfire Victims WILL pick up pieces after a disaster- RESILIENCY
- Communities WILL rise from the ashes.
- Cities MUST be prepared to immediately assist families to rebuild, with the goal REPOPULATING as soon as possible.
- COMMUNICATE WITH HOMEOWNERS ABOUT SERVICES
- MAKE SURE THE RECONSTRUCTION GUIDELINES AND RULES ARE CLEAR
- PARTNER WITH DESIGN PROFESSIONALS
- BOLSTER CITY STAFF FOR INFLUX OF WORK AHEAD
- CHALLENGES FOR HOMEOWNER UNDERSTANDING THEIR INSURANCE POLICY

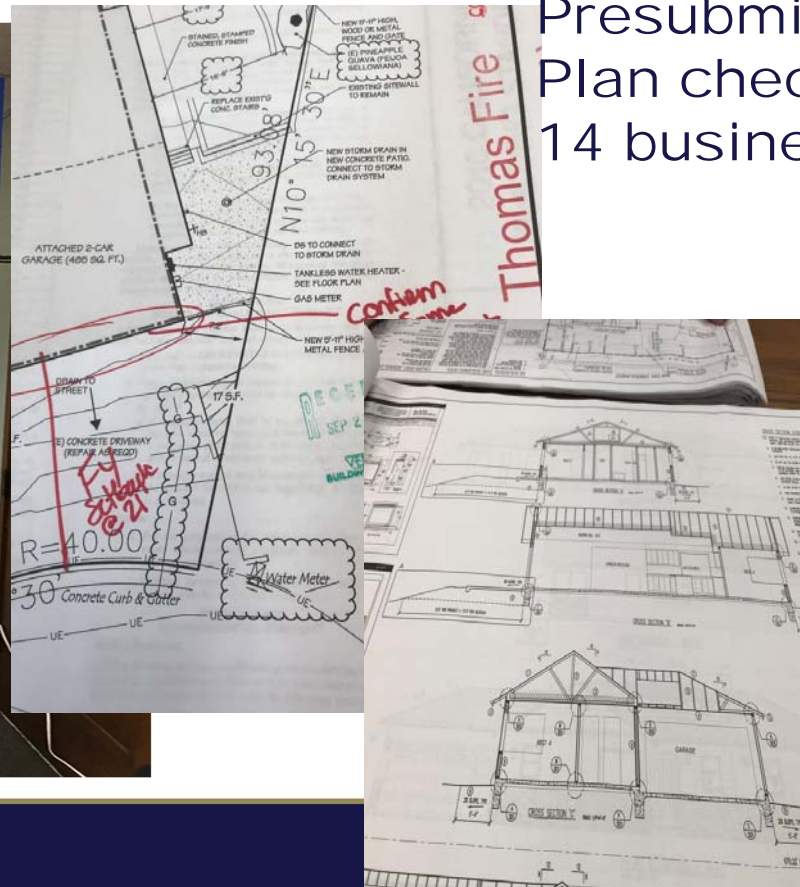
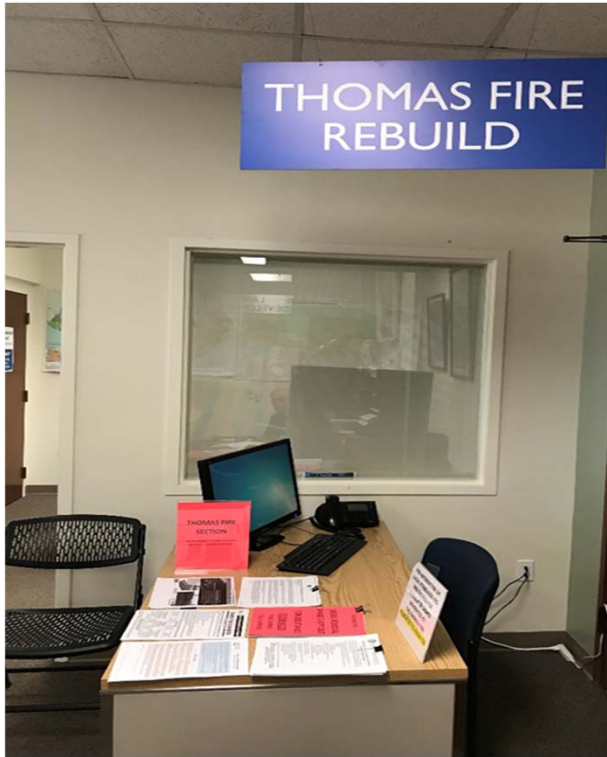


# COUNCIL MEETING



- Emergency Ordinance
- Development fees waived
- Expedited plan check process
- Contract services agreement

# THOMAS FIRE REBUILD OFFICE



Presubmittal appointments  
Plan check expedited reviews  
14 business days





PERSONALIZED  
MEETINGS WITH  
FAMILIES AFFECTED  
BY THE DEVASTATING  
FIRES

**SAFER CITIES**  
TECHNICAL SUMMIT



# REBUILD PROCESS



YOUR REBUILDING PROCESS

1 DEBRIS REMOVAL

2 DESIGN

3 PERMITTING & REVIEW

4 CONSTRUCTION & INSPECTIONS

5 WELCOME HOME

FAQS



RESILIENT CITY ZONING GUIDE

City of Ventura  
Community Development Department

**CITY OF VENTURA**  
COMMUNITY DEVELOPMENT  
www.cityofventura.ca.gov

**THOMAS FIRE REBUILD  
PLANNING DIVISION  
PRE-SUBMITTAL REVIEW**

In order to ensure an applicant's successful filing and processing for Residential Plan Check with the Building & Safety Division, Planning staff will meet with the homeowner's design team for pre-submittal review to advise on zoning compliance and other relevant issues, particularly related to structure height, any nonconforming standards or variance. Please schedule an appointment by calling (805) 654-7893.

Required Items for Zoning Clearance	REQUIRED # OF SETS	PROVIDED # OF SETS	Required Items for Zoning Clearance	REQUIRED # OF SETS	PROVIDED # OF SETS
Site Plan (setbacks—including permissible encroachments, easements, lot coverage, location and height of retaining walls and fences)	<input type="checkbox"/>	<input type="checkbox"/>	Verification of Variance Documentation, if applicable—attach copy of approval resolution and exhibits	<input type="checkbox"/>	<input type="checkbox"/>
Elevation Plan (indicate allowed and proposed zoning height requirement per hillside height survey)	<input type="checkbox"/>	<input type="checkbox"/>	Verification of compliance with Planned Development requirements (for RPD zones), if applicable	<input type="checkbox"/>	<input type="checkbox"/>
Floor Plan/Roof Plan	<input type="checkbox"/>	<input type="checkbox"/>	Evidence for Pre-existing Height Determination (if exceeding permitted height per Hillside Height Survey)	<input type="checkbox"/>	<input type="checkbox"/>
Property Line Survey	<input type="checkbox"/>	<input type="checkbox"/>	Evidence to support a Nonconforming Structure Determination (aerials/photographs/archive plans/Google imagery/Ventura County Assessor's information/building permits)	<input type="checkbox"/>	<input type="checkbox"/>
Hillside Height Survey (refer to SBMC 24.405.050)	<input type="checkbox"/>	<input type="checkbox"/>	Demonstrate compliance with Accessory Structure Regulations (SBMC 24.210.100)	<input type="checkbox"/>	<input type="checkbox"/>
Zoning Matrix (see Planning counter staff and handout)	<input type="checkbox"/>	<input type="checkbox"/>	CC&Rs, if applicable—Acknowledgment of HOA review	<input type="checkbox"/>	<input type="checkbox"/>

Rebuilding project will require Administrative Variance for (refer to application handouts)

Property Address: \_\_\_\_\_ Applicant: \_\_\_\_\_

For Office Use Only

DATE: \_\_\_\_\_ REVIEWED BY: \_\_\_\_\_  
Incomplete Comments: \_\_\_\_\_

DATE: \_\_\_\_\_ REVIEWED BY: \_\_\_\_\_  
Incomplete Comments: \_\_\_\_\_

DATE: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_  
Final Planning Zone Clearance shown on stamped plan sheets

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City of Ventura  
Building & Safety Division

**CITY OF VENTURA**  
BUILDING & SAFETY  
www.cityofventura.ca.gov

**THOMAS FIRE REBUILD  
RESIDENTIAL PLAN CHECK SUBMITTAL  
SCREENING CHECKLIST**

PROJECT ADDRESS: \_\_\_\_\_ DATE: \_\_\_\_\_

PROJECT DESCRIPTION: \_\_\_\_\_ SQ. FTG.: \_\_\_\_\_ STORES: \_\_\_\_\_

APPLICANT: \_\_\_\_\_ PHONE #: \_\_\_\_\_

REQUIRED # OF SETS	DOCUMENTS Items not checked "required" are not applicable	PROVIDED # OF SETS	REQUIRED # OF SETS	DOCUMENTS Items not checked "required" are not applicable	PROVIDED # OF SETS
	<b>DRAWINGS REQUIRED</b> - MINIMUM ITEMS TO BE SHOWN ON PRINTS AS APPLICABLE			<b>DRAWINGS REQUIRED — continued</b> - MINIMUM ITEMS TO BE SHOWN ON PRINTS AS APPLICABLE	
<input type="checkbox"/>	<b>6 FULL SETS OF PRINTS</b>	<input type="checkbox"/>	<input type="checkbox"/>	<b>FOUNDATION PLAN</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>GENERAL DATA</b> - FLOOR AREAS: NEW, EXISTING, ADDED - OWNERS NAME, ADDRESS & PHONE # - DESIGNER NAME, ADDRESS & PHONE #	<input type="checkbox"/>	<input type="checkbox"/>	<b>FLOOR FRAMING PLAN</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>SITE PLAN WALL UTILITIES SHOWN &amp; SIZES</b> ... - DIMENSIONED & TO SCALE - ALL STRUCTURES, SETBACKS, EASEMENTS, ETC.	<input type="checkbox"/>	<input type="checkbox"/>	<b>FLOOR FRAMING PLAN</b> ... - SHEAR WALLS OR BRACED WALLS - RAFTERS, HDRS., BMS., STAIR OPENINGS, ETC.	<input type="checkbox"/>
<input type="checkbox"/>	<b>CITY OF VENTURA CALGreen CHECKLIST</b> ... - INCORPORATED INTO OR ATTACHED TO THE SET OF PRINTS	<input type="checkbox"/>	<input type="checkbox"/>	<b>ROOF FRAMING PLAN</b> ... - RAFTERS, HDRS., BMS., STAIR OPENINGS, ETC.	<input type="checkbox"/>
<input type="checkbox"/>	<b>M/WELO / LANDSCAPE SHEETS</b> ... - FOR NEW BUILDINGS ONLY	<input type="checkbox"/>	<input type="checkbox"/>	<b>ARCHITECTURE DETAILS</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>GRADING PLAN (See Land Development)</b> ... - FOR TOPOGRAPHY OVER 10% - (E & N) CONTOURS - ELEV. OF CONTOURS, FG, FF, FR, RW, ETC. - AMOUNT CUT & FILL # OVER 50 cu yds	<input type="checkbox"/>	<input type="checkbox"/>	<b>ARCHITECTURE DETAILS</b> ... - DRAWN TO SCALE - ROOF TO WALL, WALL TO FLOOR, AND FLOOR TO FOUNDATION CONNECTIONS, ETC.	<input type="checkbox"/>
<input type="checkbox"/>	<b>EXISTING/DEMO FLOOR PLAN</b> ... - EXISTING WALLS TO REMAIN & BE REMOVED - ROOMS TO BE LABELED - DOOR & WINDOW LOCATED	<input type="checkbox"/>	<input type="checkbox"/>	<b>ELECTRICAL, MECHANICAL &amp; PLUMBING PLANS REQUIRED IF OVER 3000 SF AND/OR (3) STORIES</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>FLOOR PLAN FOR EACH BLDG-STORY</b> ... - DIMENSIONED & TO SCALE - WALL LEGEND - ROOMS & USES LABELED - DOOR & WINDOW LOCATIONS & SIZE - FALL, MIN. W & D, GAS & ELECT METER LOCATIONS	<input type="checkbox"/>	<input type="checkbox"/>	<b>SUPPORTING DOCUMENTATION</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>ELECTRICAL FLOOR PLANS EA. STORY</b> ... - SWITCHES, OUTLETS & LIGHT FIXTURES - ELECTRICAL METER AND PANELS - COMPLIANCE TO TITLE 24 ENERGY	<input type="checkbox"/>	<input type="checkbox"/>	<b>1. COMPLETED PERMIT APPLICATION</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>REFLECTED CEILING PLAN</b> ... - SWITCHES, LIGHT FIXTURES, CHANGES IN CEILING - PLANS, SMOKE DETECTORS, ETC.	<input type="checkbox"/>	<input type="checkbox"/>	<b>2. SOILS REPORTS</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>BUILDING CROSS SECTION</b> ... - MOST INFORMATIVE LOCATION - TO SCALE - RELATIONSHIP OF ALL STRUCTURAL ELEMENTS	<input type="checkbox"/>	<input type="checkbox"/>	<b>2. STRUCTURAL CALCS</b>	<input type="checkbox"/>
<input type="checkbox"/>	<b>EXTERIOR BUILDING ELEVATIONS</b> ... - FOUR VIEWS: FRONT, SIDE, REAR, AND - BUILDING HEIGHTS & TO SCALE - ALL OPENINGS AND FINISHES - ROOF SLOPES	<input type="checkbox"/>	<input type="checkbox"/>	<b>2. ENERGY FORMS</b>	<input type="checkbox"/>
				<b>1. DEBRIS REMOVAL CLEARANCE CERTIFICATES (X2) (FIRST PHASE &amp; SECOND PHASE)</b>	<input type="checkbox"/>
				<b>1. SITE SURVEY (Permanent Marks)</b>	<input type="checkbox"/>
				<b>1. HILLSIDE HEIGHT SURVEY</b>	<input type="checkbox"/>
				<b>1. CONSTRUCTION DEMO WASTE MANAGEMENT PLAN</b>	<input type="checkbox"/>
				<b>1. PLANNING DIVISION PRE-SUBMITTAL APPROVED</b>	<input type="checkbox"/>
				<b>1. PLAN CHECK SUBMITTAL CHECKLIST</b>	<input type="checkbox"/>
				<b>2. TRUSS SHOP DRAWINGS</b>	<input type="checkbox"/>
				<b>OTHER:</b>	<input type="checkbox"/>

FOR OFFICE USE ONLY ARE THE DOCUMENTS COMPLETE FOR SUBMITTAL?  YES  NO  
If the answer is NO, then the 14 business day timeline cannot be accomplished.

DATE: \_\_\_\_\_ REVIEWED BY: \_\_\_\_\_  
(NAME OF PERSON REVIEWING SUBMITTAL PACKAGE)

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# STANDARD CODE SHEETS



**SECTION 4.0: GENERAL PROVISIONS**  
**SECTION 4.1: PERMITS**  
**SECTION 4.2: PLAN REVIEW**  
**SECTION 4.3: FEES**  
**SECTION 4.4: EXEMPTIONS**  
**SECTION 4.5: REVISIONS**  
**SECTION 4.6: CLOSURE**  
**SECTION 4.7: DESTRUCTION AND ALTERATION OF EXISTING STRUCTURES**  
**SECTION 4.8: PILING**  
**SECTION 4.9: FOUNDATION AND EROSION CONTROL**  
**SECTION 4.10: EROSION CONTROL**  
**SECTION 4.11: LANDSCAPE ARCHITECTURE**  
**SECTION 4.12: EXISTING STRUCTURES**  
**SECTION 4.13: SIGNAGE**  
**SECTION 4.14: HISTORIC PRESERVATION**  
**SECTION 4.15: SEISMIC RETROFITTING**  
**SECTION 4.16: STRUCTURAL ANALYSIS**  
**SECTION 4.17: STRUCTURAL DESIGN**  
**SECTION 4.18: STRUCTURAL DETAILING**  
**SECTION 4.19: MATERIALS**  
**SECTION 4.20: CONSTRUCTION QUALITY CONTROL**  
**SECTION 4.21: TESTING**  
**SECTION 4.22: RECORD DRAWINGS**  
**SECTION 4.23: OTHER REQUIREMENTS**

**TABLE 4.01: SUMMARY OF BUILDING PERMITS**

TYPE OF PERMIT	MINIMUM FEE	MAXIMUM FEE	EXEMPTIONS
Residential	\$100	\$200	...
Commercial	\$200	\$500	...
Industrial	\$500	\$1000	...
...	...	...	...

**TABLE 4.02: SUMMARY OF CONSTRUCTION FEES**

CATEGORY	MINIMUM FEE	MAXIMUM FEE
Residential	\$50	\$100
Commercial	\$100	\$200
Industrial	\$200	\$500
...	...	...

PLAN CHECK #:  
 2016 CALIFORNIA GREEN BUILDING STANDARDS CODE  
**RESIDENTIAL**  
 ADDRESS:  
 CITY OF VENTURA  
 BUILDING & SAFETY  
 www.cityofventura.ca.gov

**TABLE 4.03: SUMMARY OF CONSTRUCTION FEES**

CATEGORY	MINIMUM FEE	MAXIMUM FEE
Residential	\$50	\$100
Commercial	\$100	\$200
Industrial	\$200	\$500
...	...	...

**WELDED SUBMITTAL CHECKLIST PAGE 1**

**WELDED SUBMITTAL CHECKLIST PAGE 2**

**WELDED SUBMITTAL CHECKLIST PAGE 3**

... (Detailed checklist items for welding submittals) ...

COMPLETED FOR EACH WELDING POINT OF CONNECTION EACH WET SET

WELDING POINT OF CONNECTION	WELDED SUBMITTAL CHECKLIST	DATE	BY
...	...	...	...
...	...	...	...
TOTAL	...	...	...

PREPARED BY:  
 MODEL WATER EFFICIENT LANDSCAPE ORNAMENT WORKSHEET  
 CITY OF VENTURA

# HANDOUTS



CITY OF VENTURA BUILDING & SAFETY  
www.cityofventura.ca.gov

City of Ventura Building & Safety Division  
**HIGH FIRE REQUIREMENTS (2016 CRC & CBC)**  
(See CRC Section R337 and CBC Chapter 7A for complete requirements)

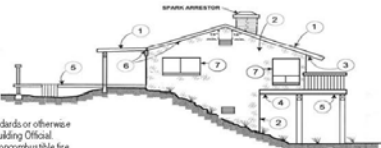
CITY OF VENTURA BUILDING & SAFETY  
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City of Ventura Building & Safety Division  
**TECHNICAL BULLETIN**

CITY OF VENTURA BUILDING & SAFETY  
www.cityofventura.ca.gov

City of Ventura Building & Safety Division  
**DESIGN STANDARDS**

**Scope - 701A.1.R337.1** This chapter applies to building materials, systems and/or assemblies used in the exterior design and construction of new buildings located within a High Fire Hazard Area as defined by the City of Ventura Fire Department.



- Roofing - 706A.R337.6** Roof coverings on new buildings shall be class A - noncombustible in accordance with adopted CBC Standards or otherwise as may be approved by the Chief Building Official. Roof coverings shall be class A or noncombustible fire retardant materials.
- Exterior Covering - 707.A.R337.7** Exterior wall coverings shall be non-combustible or ignition-resistant material and shall extend from the foundation to the roof. 2"ys are allowed for rafter blocking.
  - Exception**  
a. One layer of 5/8" gypsum sheathing underneath exterior covering.
- Open Roof Eaves - 707.A.4.R337.7.4** Eaves and soffits shall be non-combustible, ignition-resistant or have a layer of 5/8" Type X gypsum sheathing behind exterior cover of underside of the roof deck (See Gypsum Assoc. Fire Resistance Design Manual).
  - Exception**  
a. Solid wood rafter tails having a minimum nominal dimension of 2 inches.
- Floor/Underfloor Protection - 707.A.7.R337.7** The underside of cantilevered and overhanging appendages and floor projections shall maintain the ignition-resistant integrity of exterior walls or shall be enclosed to grade.
  - 707.A.8** Buildings shall have all underfloor areas enclosed to grade in accordance with 706A.3, except where the underside of all exposed floors, exposed structural columns, beams and supporting walls are protected as required with ignition-resistant material construction or be heavy timber.
  - Heavy Timber - For the purpose of this chapter, heavy timber shall be sawn lumber or glue laminated wood with the smallest minimum nominal dimension of 4 inches. 702A.807.2**
- Docking - 706A.R337.9** When within 10 feet of the primary structure, the construction of decking surfaces, stair treads and risers and landings of decks, porches and balconies shall comply with one of the following:

- ignition resistant,
  - fire retardant treated wood,
  - non-combustible
  - any material that complies with SFM 12-7A-4A
- Vents - 706A.R337.6** When required by Chapter 15, roof and attic vents shall be covered by metal wire mesh, vents, other materials or devices that meet all of the following requirements:
    - The dimensions of the openings therein shall be minimum 1/16th inch and shall not exceed 1/8th inch.
    - The materials used shall be noncombustible.
    - The materials must be corrosion resistant.
  - Eave Vents - 706A.3.R337.6.3** Eave and cornice vents shall not be used unless they resist the intrusion of flame and burning embers and meet one of the following:
    - The attic space is sprinklered.
    - The exterior wall covering is ignition resistant and the vent is located more than 12' above the ground or walking surface.
  - Exterior Windows & Doors 706A.R337.6**
    - Doors shall be of approved non-combustible construction, 20 minute rated, 1-3/8" solid core railbolts or meet the requirements of SFM 12-7A-1.
    - Exterior windows, window walls, glazed doors and glazed openings within doors shall be dual glazed with a minimum of one tempered pane dual glazing, or be glass block units, or be 20 minute fire-rated or meet the requirements of SFM 12-7A-2.
- NOTE: the use of paints, coatings, stains, or other surface treatments are not allowed to be used to satisfy the above requirements.

## When is a Geotechnical Investigation Required?

### INTRODUCTION

The purpose of this technical bulletin is to clarify when a geotechnical investigation is required as part of a building permit application. The requirements below are intended as general policy guidelines. Section 1803 of the 2016 California Building Code (CBC) outlines specific instances of when a geotechnical report is required based on soil conditions and construction methods. Where a geotechnical investigation is required, the content of the report shall conform to the requirements of Section 1803 and current City Ordinance.

### GENERAL

The requirement for the geotechnical investigation is based on the City of Ventura Ordinance 2016 which requires a geotechnical investigation be conducted when the proposed structure area is one thousand square feet or more in total proposed area.

Due to City of Ventura being located in Seismic Design Category E, the geotechnical investigation shall also include all required testing and reporting as outlined in Section 1803.5.11 and 1803.5.12 which applies to all structures that are being proposed in Seismic Design Category E.

In all cases, if a geotechnical report has been previously performed for the parcel, this report must be included in the building permit application. If the existing report is more than a year old, a geotechnical report update letter from a qualified licensed professional must be included with the permit application. The update letter shall address whether the recommendations of the previous report are still valid for the proposed project and if additional soil analysis is required.

### Applicable Codes and Standards

- 2016 California Building Code (based on the 2015 International Building Code)
- 2016 California Residential Code (based on the 2015 International Residential Code)
- 2016 California Electrical Code (based on the 2014 National Electrical Code)
- 2016 California Plumbing Code (based on the 2015 Uniform Plumbing Code)
- 2016 California Mechanical Code (based on the 2015 Uniform Mechanical Code)
- 2016 California Fire Code (based on the 2015 International Fire Code)
- 2016 California Green Building Standards
- 2016 California Energy Efficiency Standards
- 2016 City of Ventura Ordinance

### Seismic

Seismic Design Categories, SDC, are based on specific site locations. Values for spectral response accelerations, S1 and S2, and damped spectral response accelerations, SD1 and SDS, may be determined by entering longitude and latitude at the USGS seismic design maps application. These values, along with the risk category (most buildings in City of Ventura will be Risk Category I, II or III, with residences classified as Risk Category II), will determine the SDC. Most of City of Ventura will be SDC E or F. See CBC 2016, for complete Seismic Design Criteria.

### Wind

Vult is 110 mph for Risk Category II buildings (most buildings). Exposure categories B (urban and suburban areas), C (open terrain with scattered obstructions or areas that are not Exposure B or D) or D (unobstructed areas and ocean front areas). For structures required to have a structural analysis (non-conventional), see CBC 2016, for complete Wind Design Criteria.

### Wildland-Urban Interface

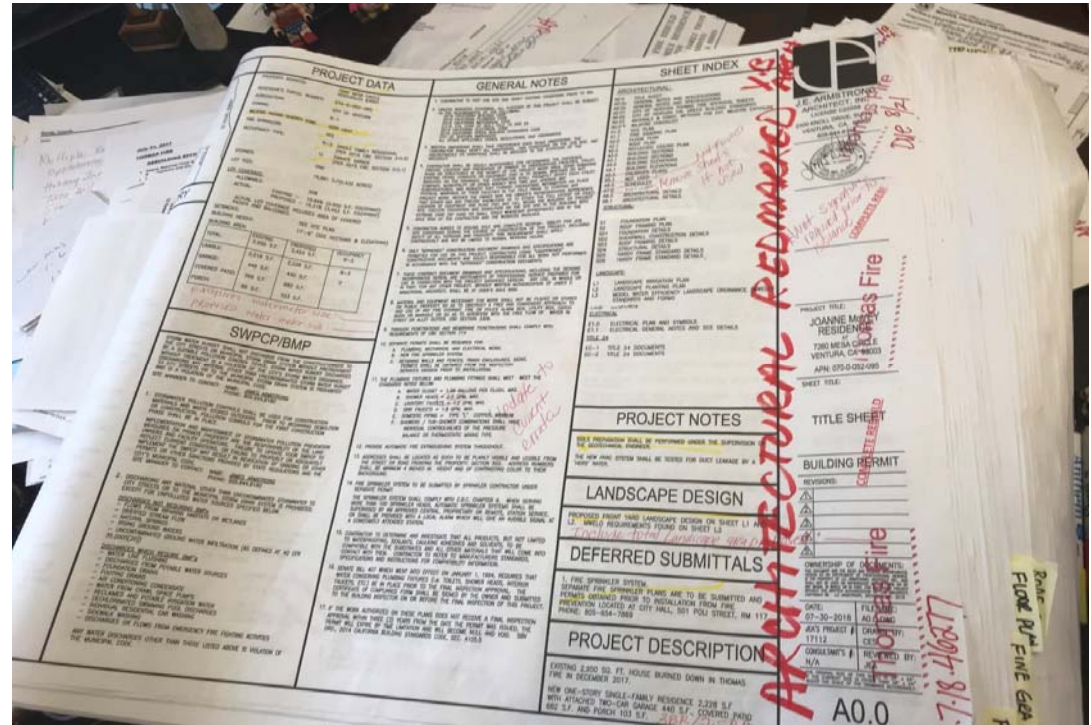
Those areas shall comply with the Materials and Construction Methods for Exterior Wildfire Exposure in CBC, Chapter 7A and/or CRC R337 for one and two family dwellings and townhomes. See WUI Codes for CBC 7A requirements, which generally mirror CRC R337 requirements.

### Climate Zone

For energy compliance, use Climate Zone 6. See the California Energy Commission's website.

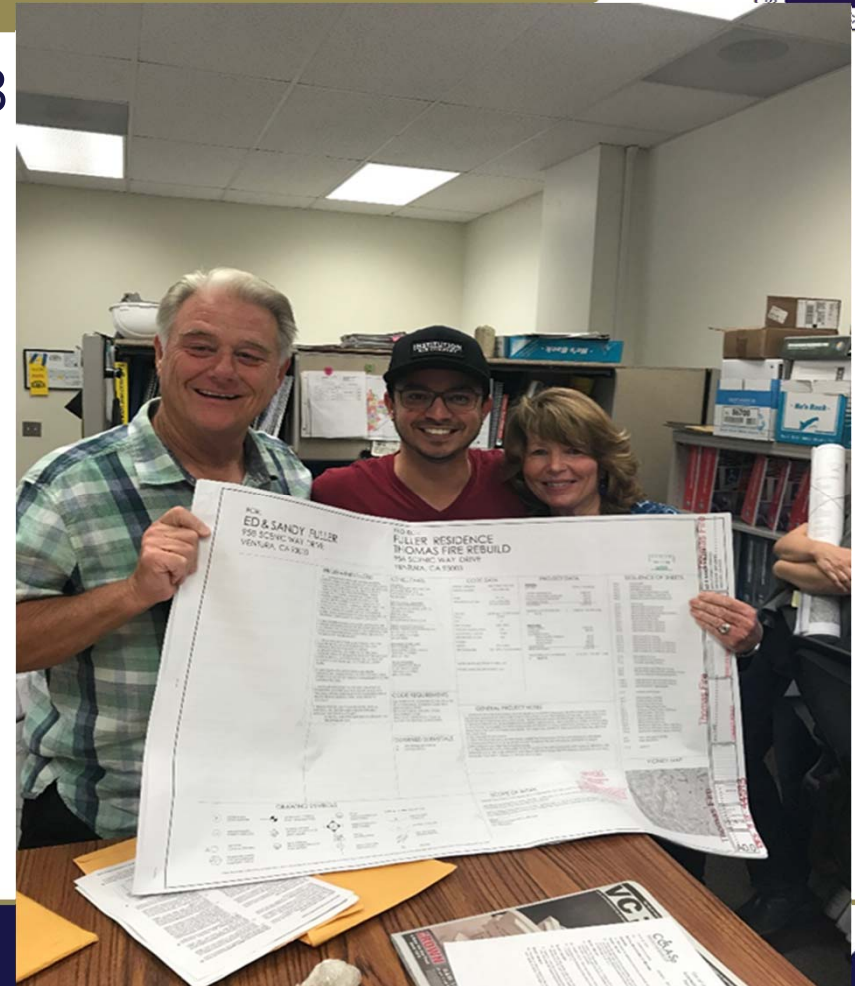


# Plan check becomes a priority

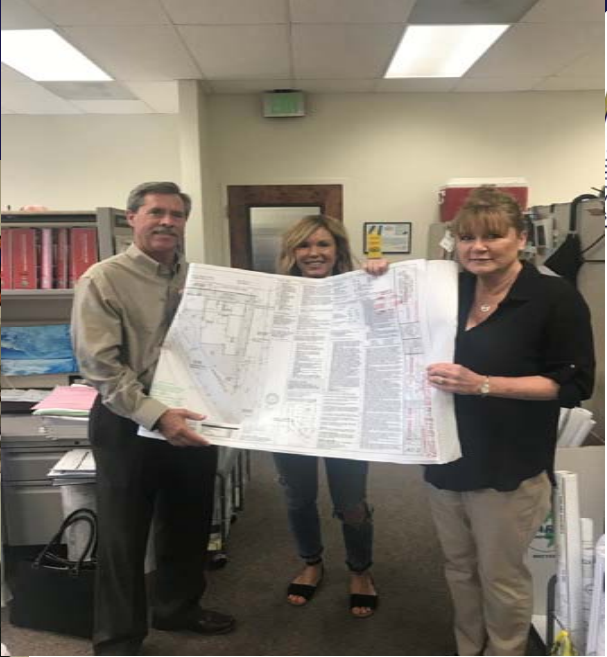
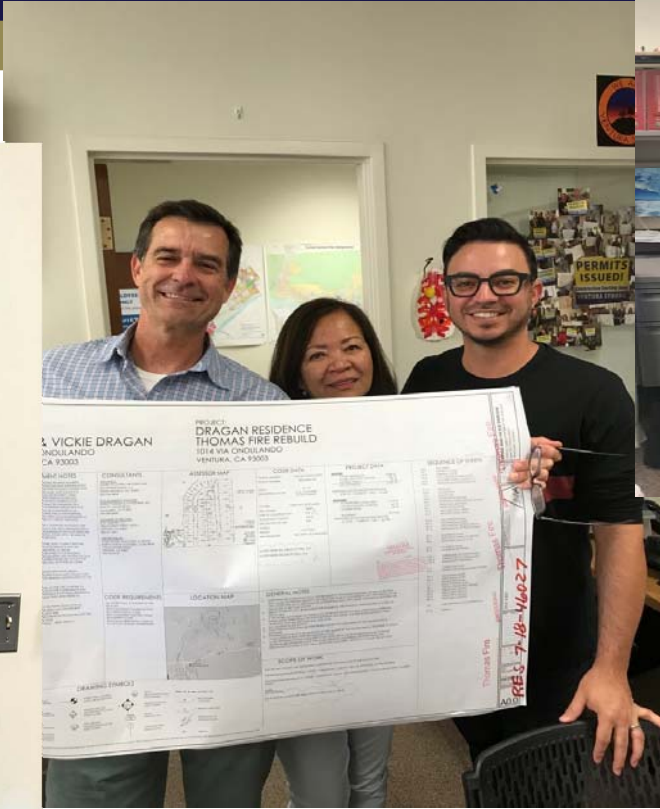
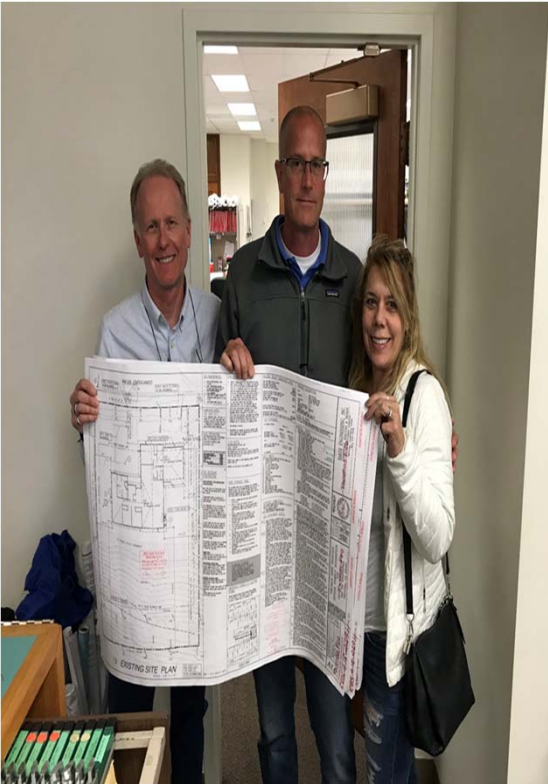


# First permit issued

- First Plan submitted 4-18-2018
- Approval May 18, 2018



# More permits issued



# CONSTRUCTION PROCESS

## underway



- Hours of Construction
- Inspections
- Staging of Construction Materials
- Construction Trailers
- Certificates of Occupancy
- Temporary Utilities

# Grading and Fine grading



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**SAFER CITIES**  
TECHNICAL SUMMIT



# A YEAR LATER...



Thomas Fire Rebuild efforts:  
417 repair permits issued  
179 complete rebuild homes approved  
106 complete rebuild homes under review

Building and Safety has given occupancy for the administrative offices and assessment trailers for Aurora Vista Del Mar Hospital. Kalorama Harbor View apartments, under plan check review for the reconstruction of 32 apartment units. Hawaiian Apartment complex under design.

